



LOWER GROUND FLOOR PLAN - BLOCK B - LEVEL_54.500
1:100

SCHEDULE OF APARTMENTS - BLOCK B - 4 STOREY (UNITS 375-398)

Storey	Area	Type
LOWER GROUND FLOOR		
APT - G48	78.1	2 Bed - Block B
APT - G49	75.0	2 Bed - Block B
APT - G50	48.4	1 Bed - Block B
APT - G51	48.4	1 Bed - Block B
APT - G52	78.7	2 Bed - Block B
APT - G53	59.3	1 Bed - Block B

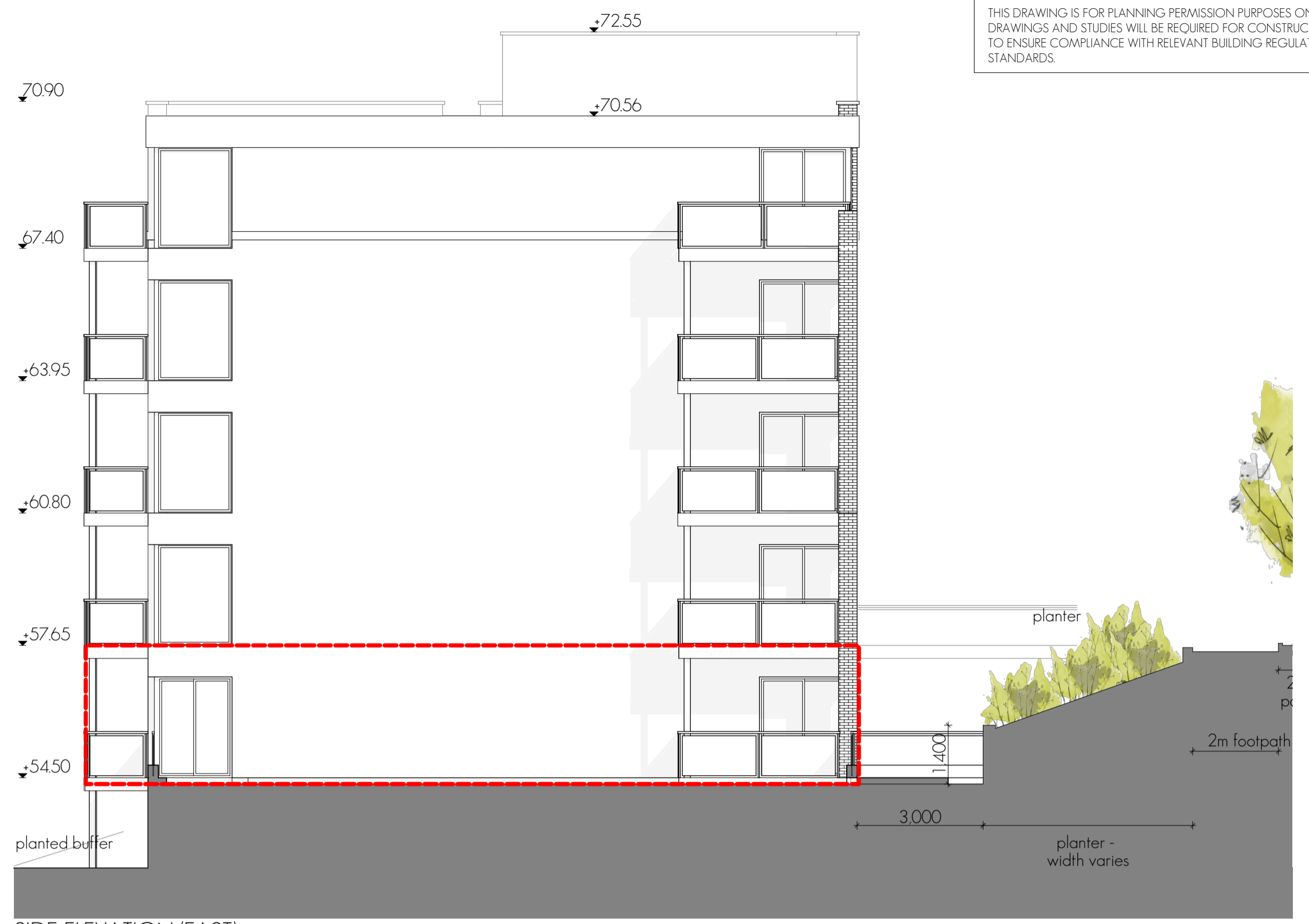
Issued for Planning	VB	13/03/2019	X
Issue Description	dm	ckd	date
Client	CAIRN HOMES PROPERTIES LTD.		
Project	RESIDENTIAL DEVELOPMENT		
Site	CASTLETREASURE, DOUGLAS, CO. CORK		
Title	BLOCK B - FLOOR PLANS		

Project Architect: PATRICK O TOOLE
 A3 Sheet Scale: AS
 Project No: 18205-PT5-513
 Issue: A
 S:\2018 CORK\18205\Working drawings\18205-DES-180-R (Apts-G)plan13 March 2019

THIS DRAWING IS FOR PLANNING PERMISSION PURPOSES ONLY. FURTHER DRAWINGS AND STUDIES WILL BE REQUIRED FOR CONSTRUCTION AND TO ENSURE COMPLIANCE WITH RELEVANT BUILDING REGULATIONS AND STANDARDS.



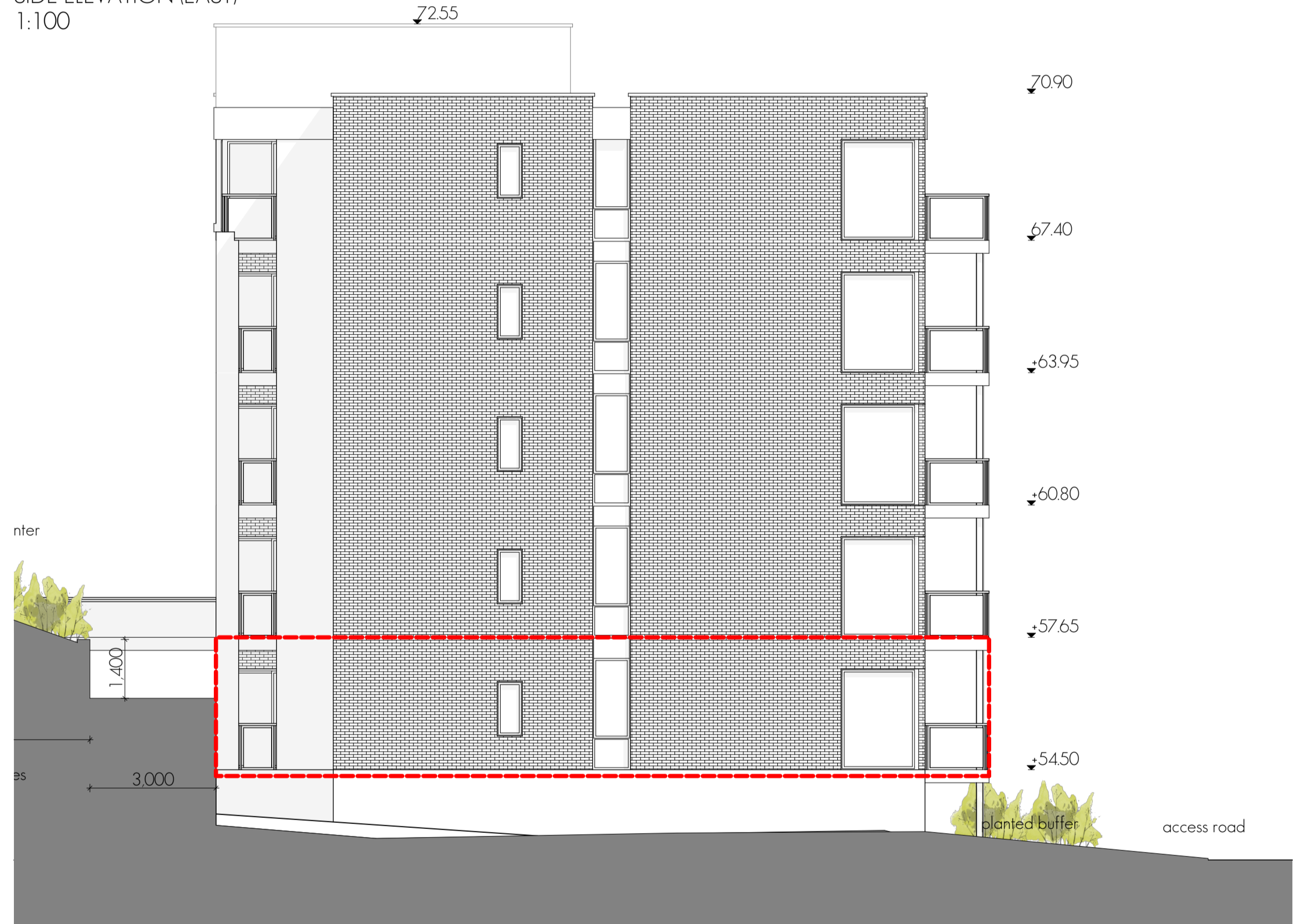
FRONT ELEVATION (NORTH) - BLOCK B
1:100



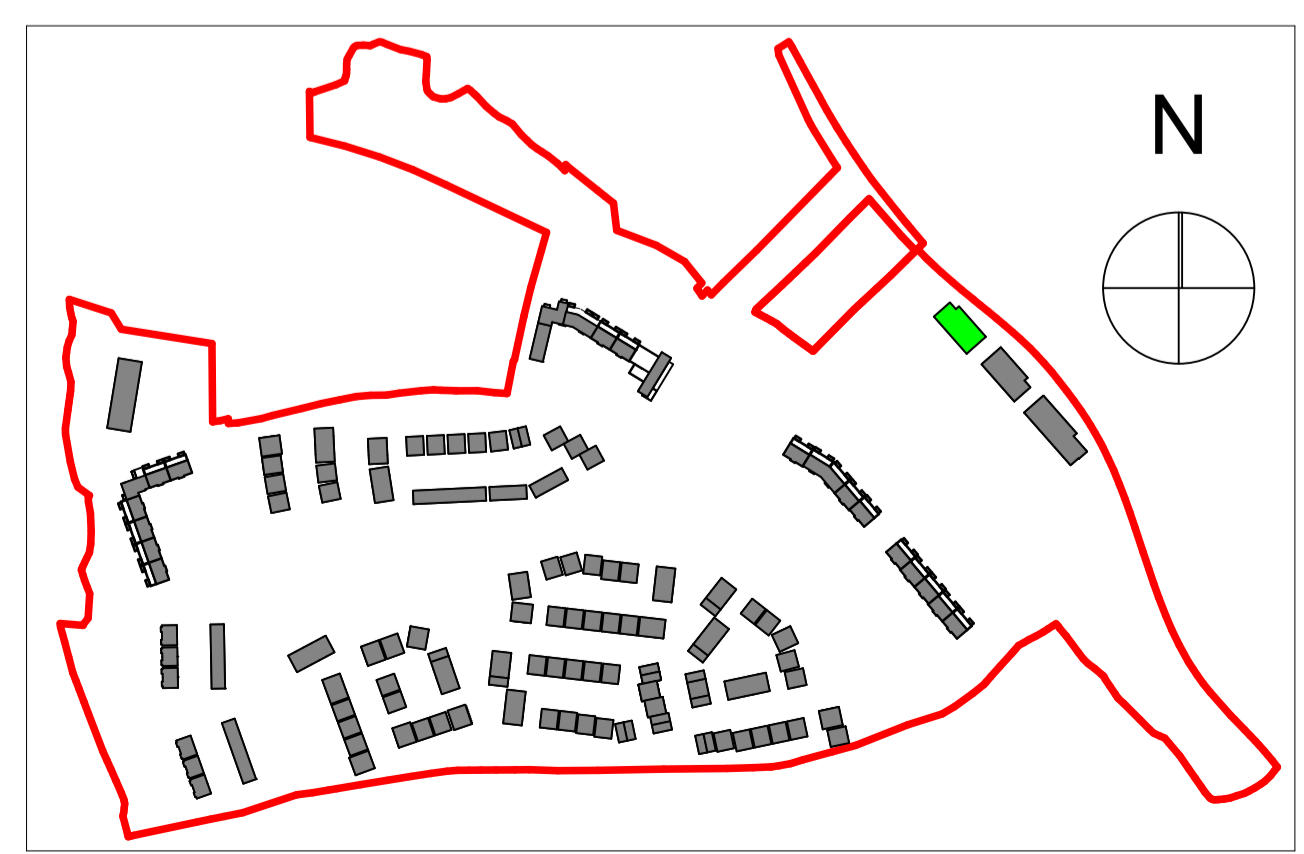
SIDE ELEVATION (EAST)
1:100



REAR ELEVATION (SOUTH) - BLOCK B
1:100



SIDE ELEVATION (WEST)
1:100



Keyplan-B
1:5000

PROPOSED PART 5 UNITS
OUTLINED IN RED

NOTES ON FINISHES

- ROOF: warm roof construction build up, to be finished in a single ply membrane in selected colour or similar approved.
- WALLS: selected clay brickwork, where indicated, zinc/powder coated aluminium standing seam roof. Pressed powder coated metal to parapets.
- JOINERY: all windows and doors, frames and leaves, to be aluminium powder-coated to approved colour or uPVC. Obscure glazing to sensitive windows.
- RAINWATER GOODS: gutters, downpipes, and fixings to be uPVC or aluminium powder coated to selected colour or similar approved.

Issue Description	Y/N	13/03/2019	X	
	dim	cltd	date	rev
Client: CAIRN HOMES PROPERTIES LTD.				
Project: RESIDENTIAL DEVELOPMENT				
Site: CASTLETREASURE, DOUGLAS, CO. CORK				
Title: BLOCK B - ELEVATIONS				

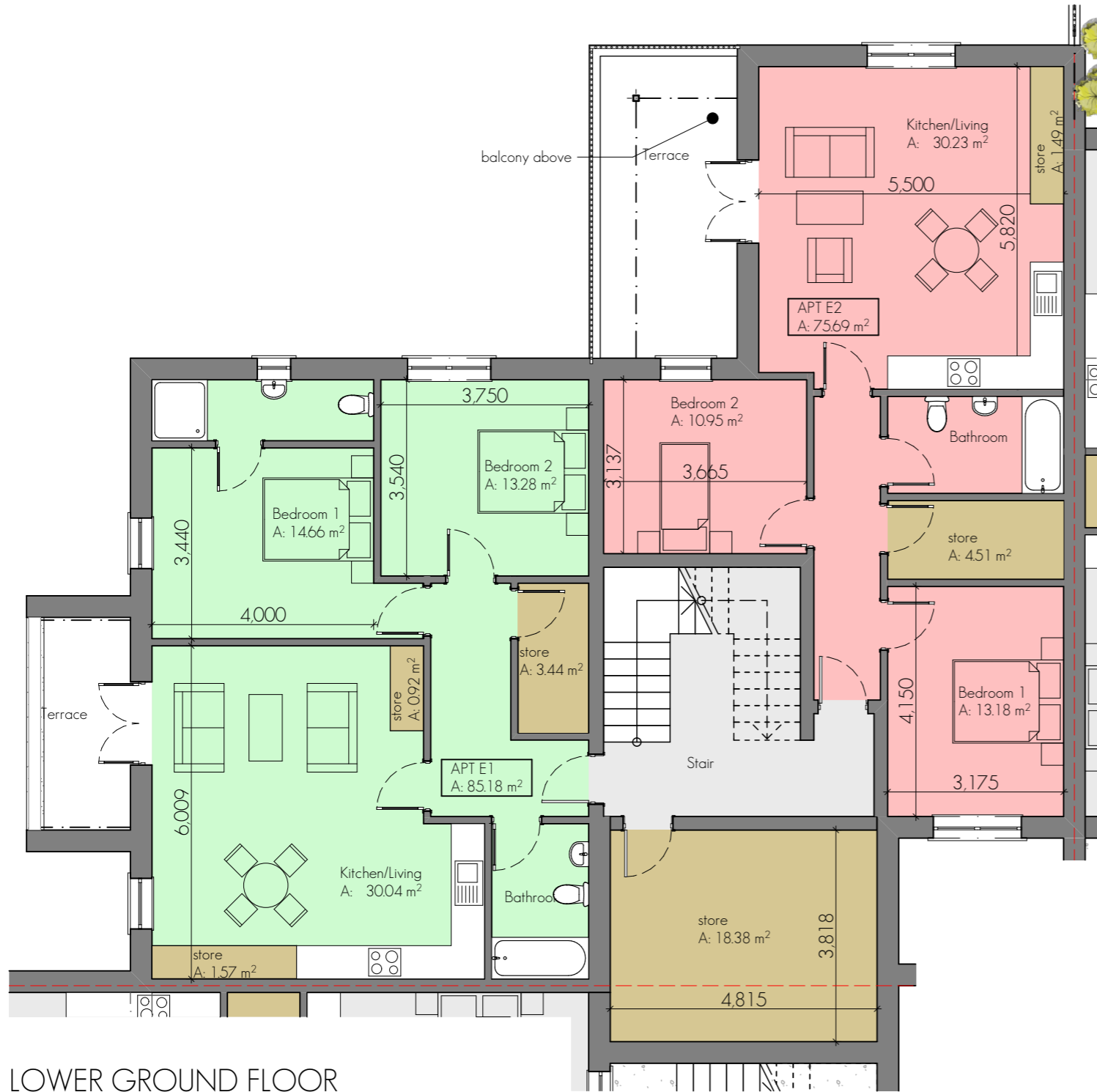
Project Architect: PATRICK O TOOLE
A1 Sheet Scale: AS

Project No: 18205-PT5-514
Issue: X

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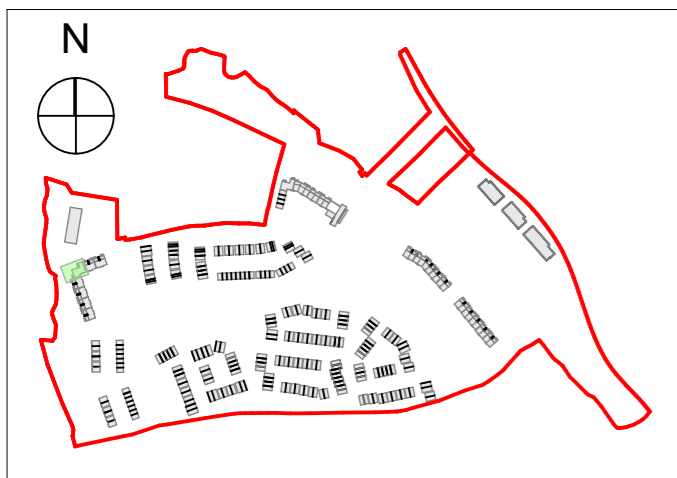
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NOTE: PLEASE REFER TO THE SITE LAYOUT DRAWING FOR ALL FFLS AND THE NORTH POINT ORIENTATION



LOWER GROUND FLOOR

1:100



SITE KEYPLAN



West Elevation (Rear to woodland)

1:200



North Elevation (Rear)

1:200

Schedule of Areas - Corner Apartment			
Home Storey	Name	Area	Type
LOWER GROUND...	APT E1	85.18	2 Bed Apt
LOWER GROUND...	APT E2	75.69	2 Bed Apt
GROUND FLOOR	APT E1	85.18	2 Bed Apt
GROUND FLOOR	APT E2	75.69	2 Bed Apt
FIRST FLOOR	APT E1	85.18	2 Bed Apt
FIRST FLOOR	APT E2	75.69	2 Bed Apt
		482.61 m ²	

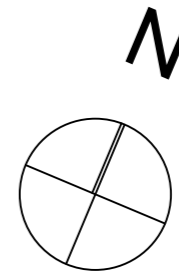
PROPOSED PART 5 UNITS

House Type E1 & E2

1 Storey

2 Bedroom Apt

E1 - 85.2 sq.m. + E2 - 75.7sqm



Issued for Planning: GOS MD 15/02/2019 x
Issue Description: dm ckd date rev.

Client: CAIRN HOMES PROPERTIES LTD.
Project: RESIDENTIAL DEVELOPMENT
Site: CASTLETREASURE, DOUGLAS, CO. CORK
Title: BLOCK E - LOWER GROUND FLOOR

Project Architect: PATRICK OTOOIE
A3 Sheet Scale: 1:100, 1:10000, 1:200

Project No: 18205-PT5-505
Issue: X

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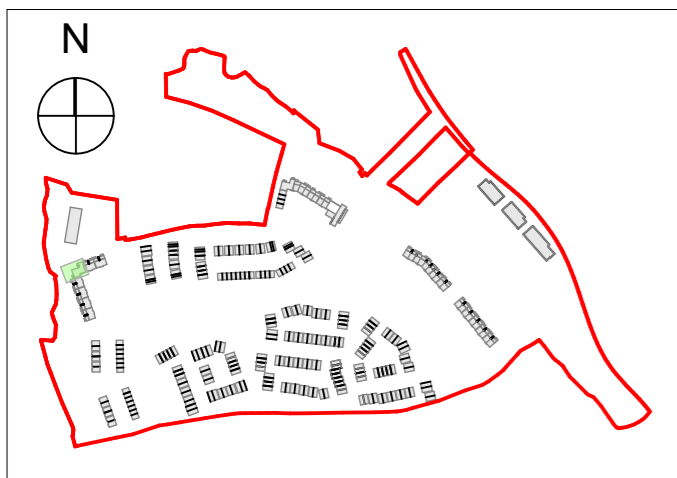
S:\2018 CORK\18205\Working drawings\18205-DES-080-G\BLOCK-E-HT-E-F\Issued ABP Draft for review\pin15 February 2019

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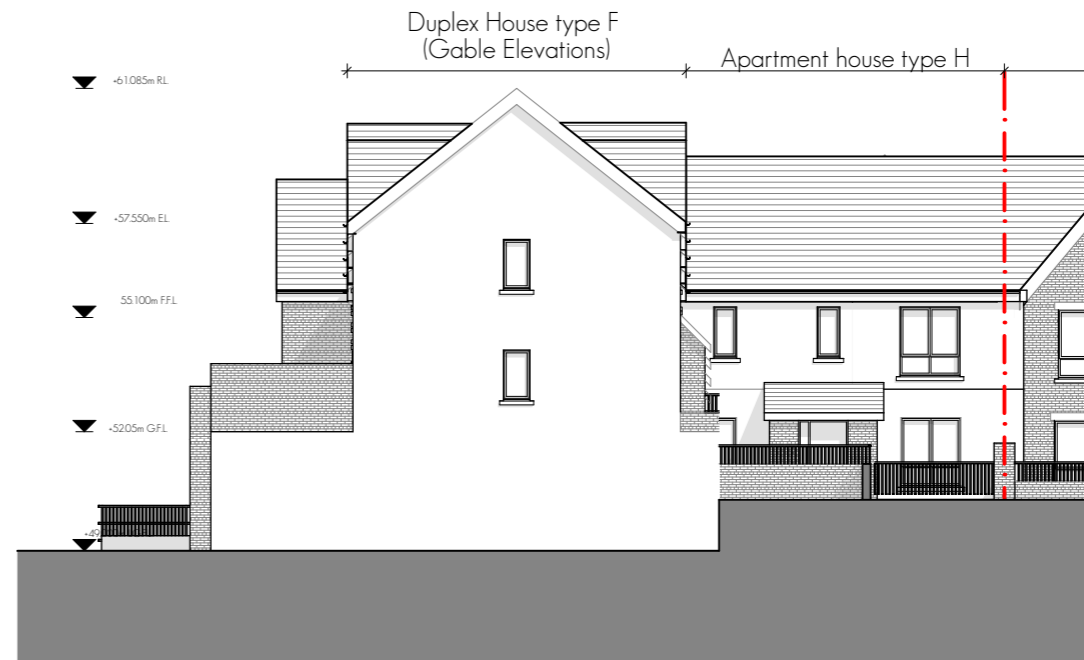


GROUND FLOOR

1:100



SITE KEYPLAN



South Elevation (Front)

1:200

PROPOSED PART 5 UNITS

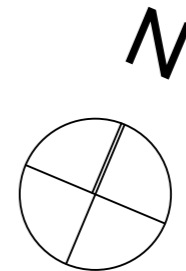
House Type E1 & E2

1 Storey

2 Bedroom Apt

E1 - 85.2 sq.m. + E2 - 75.7sqm

Schedule of Areas - Corner Apartment			
Home Storey	Name	Area	Type
LOWER GROUND...	APT E1	85.18	2 Bed Apt
LOWER GROUND...	APT E2	75.69	2 Bed Apt
GROUND FLOOR	APT E1	85.18	2 Bed Apt
GROUND FLOOR	APT E2	75.69	2 Bed Apt
FIRST FLOOR	APT E1	85.18	2 Bed Apt
FIRST FLOOR	APT E2	75.69	2 Bed Apt
		482.61 m ²	



Issued for Planning: GOS MD 15/02/2019 x
Issue Description: dn ckd date rev.

Client: CAIRN HOMES PROPERTIES LTD.
Project: RESIDENTIAL DEVELOPMENT
Site: CASTLETREASURE, DOUGLAS, CO. CORK
Title: BLOCK E - GROUND FLOOR

Project Architect: PATRICK OTOOIE
A3 Sheet Scale: 1:100, 1:10000, 1:200

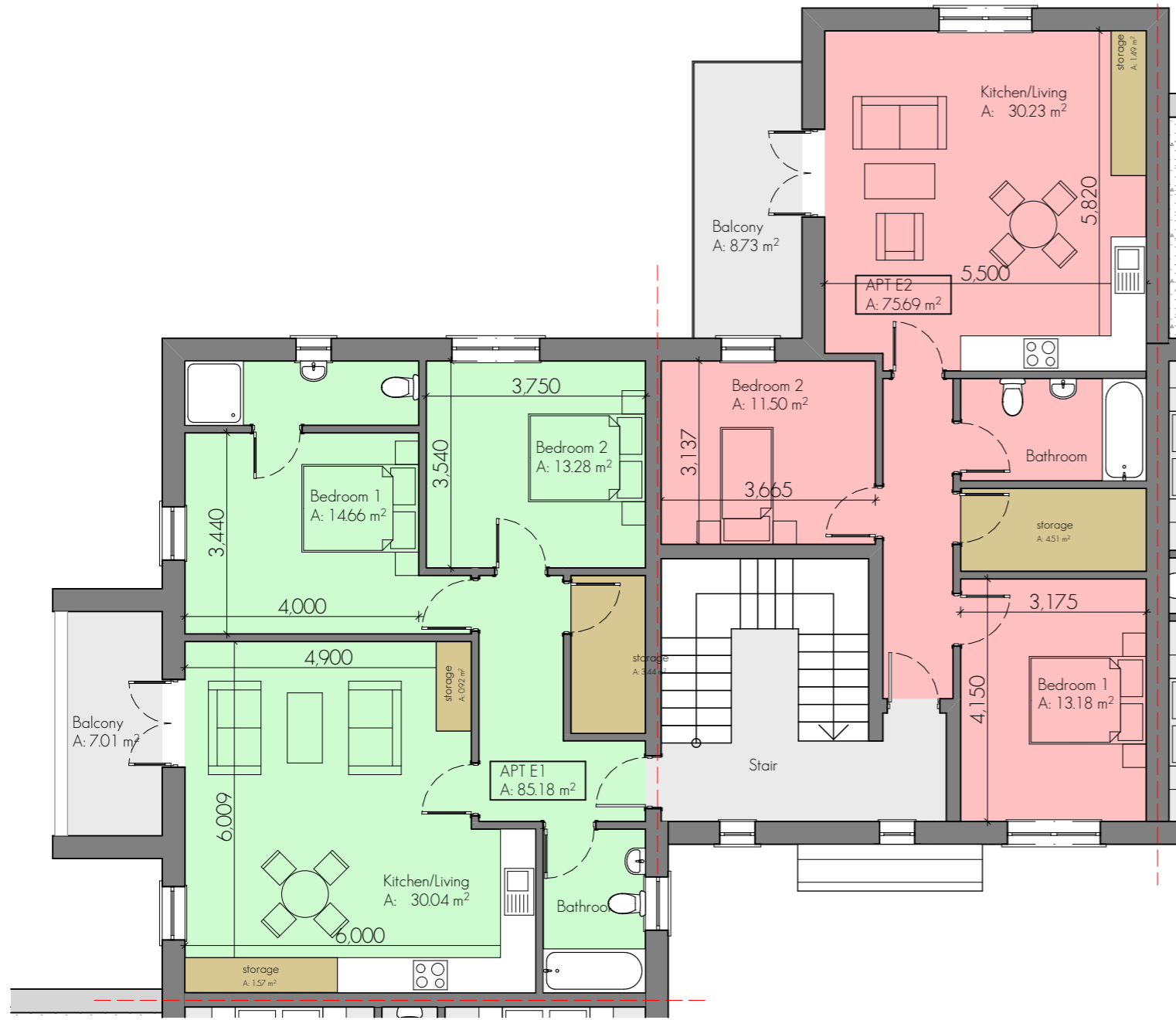
Project No: 18205-PT5-506
Issue: X

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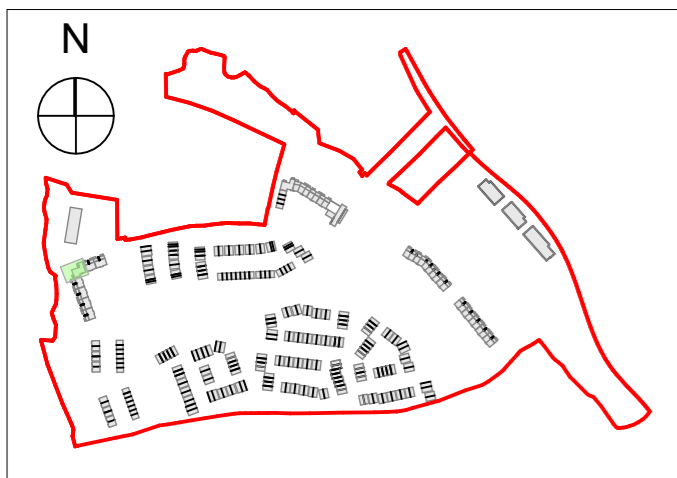
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FIRST FLOOR

1:100



SITE KEYPLAN

Schedule of Areas - Corner Apartment			
Home Storey	Name	Area	Type
LOWER GROUND...	APT E1	85.18	2 Bed Apt
LOWER GROUND...	APT E2	75.69	2 Bed Apt
GROUND FLOOR	APT E1	85.18	2 Bed Apt
GROUND FLOOR	APT E2	75.69	2 Bed Apt
FIRST FLOOR	APT E1	85.18	2 Bed Apt
FIRST FLOOR	APT E2	75.69	2 Bed Apt
		482.61 m ²	

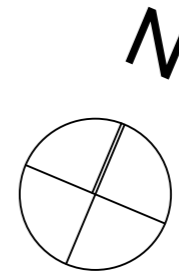
PROPOSED PART 5 UNITS

House Type E1 & E2

1 Storey

2 Bedroom Apt

E1 - 85.2 sq.m. + E2 - 75.7sqm



Issued for Planning Issue Description GOS MD 15/02/2019 x
dm ckd date rev

Client: CAIRN HOMES PROPERTIES LTD.
Project: RESIDENTIAL DEVELOPMENT
Site: CASTLETREASURE, DOUGLAS, CO. CORK
Title: BLOCK E - FIRST FLOOR

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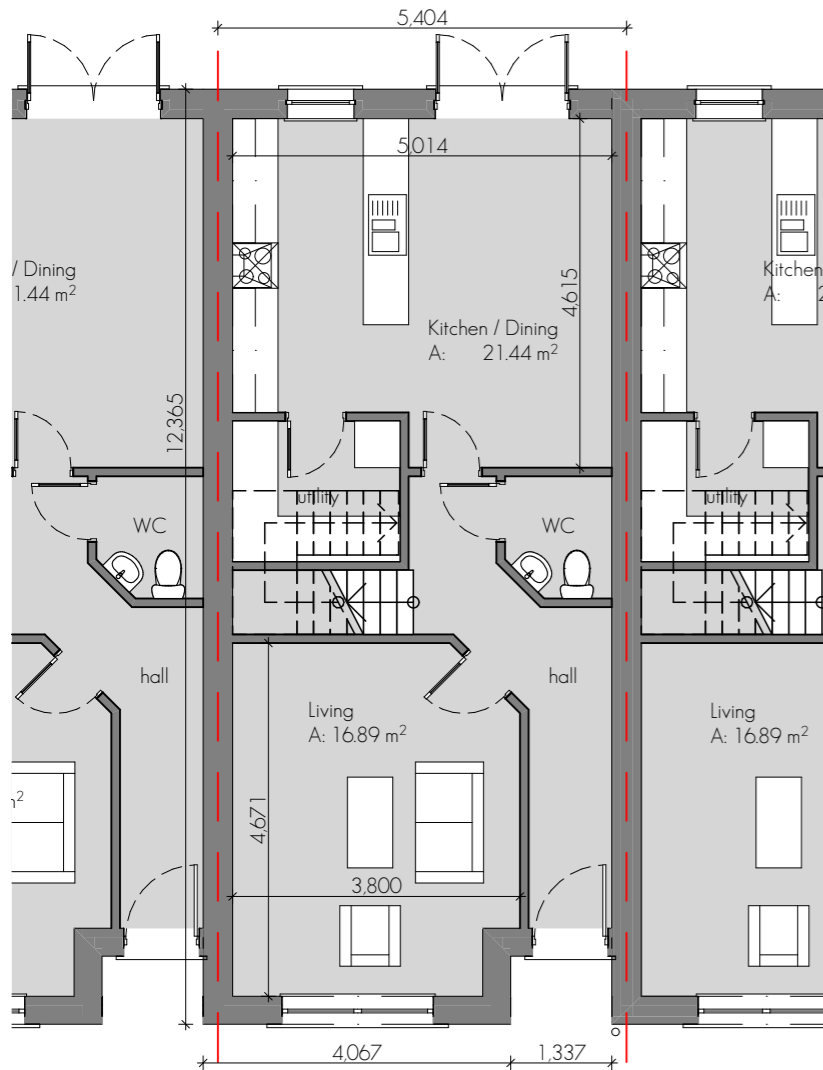
Project Architect: PATRICK OTOOIE
A3 Sheet Scale: 1:100, 1:10000
Project No: 18205-PT5-507
Issue: X

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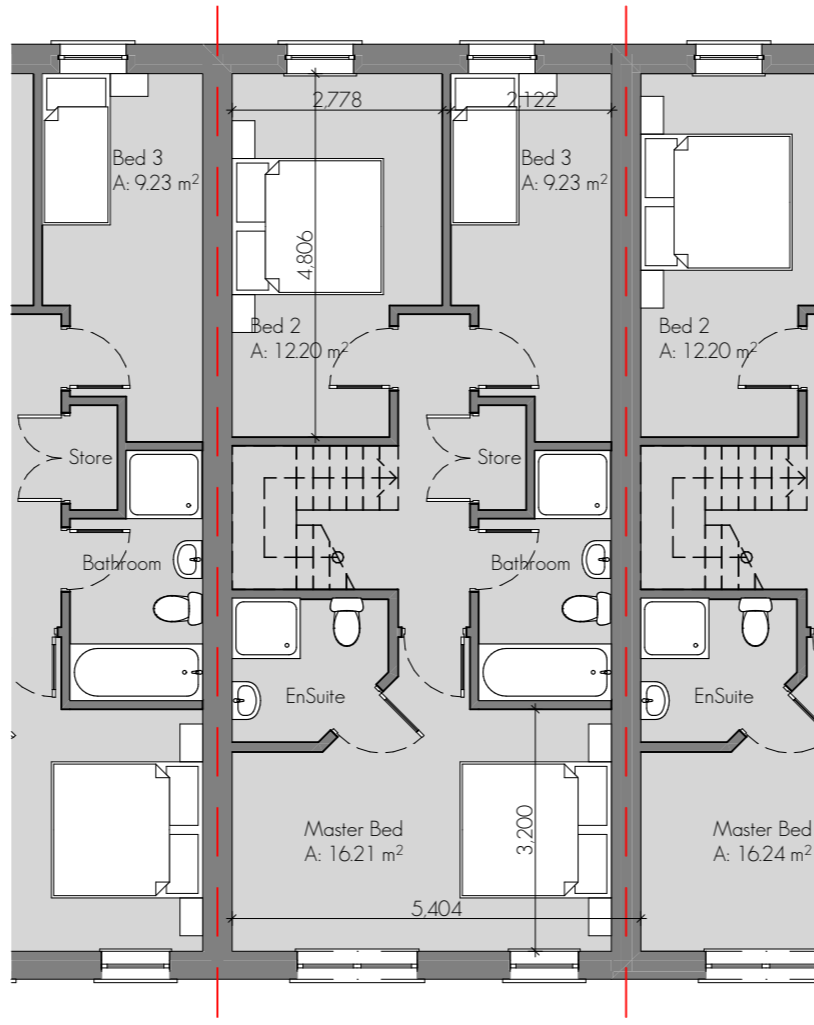
FRONT ELEVATION - B2
1:100



GROUND FLOOR - B2
1:100



REAR ELEVATION - B2
1:100



FIRST FLOOR - B2
1:100

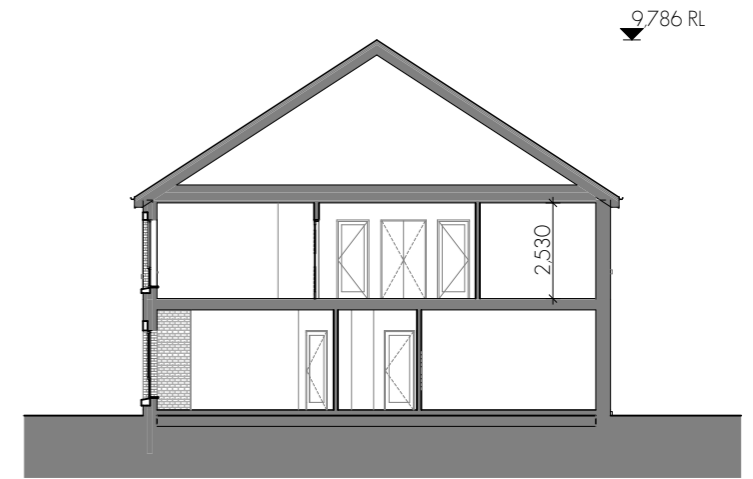
NOTES ON FINISHES:

ROOF: to be finished in slate or concrete roof tiles in selected colour or similar approved.

WALLS: selected clay brickwork, where indicated, otherwise painted sand / cement render or self-coloured render. Expressed bands around external opes/ expressed lintels over external opes, where indicated, to be reconstituted stone (light cream limestone or granite effect) or render

JOINERY: all windows and doors, frames and leaves, to be aluminium powder-coated to approved colour or uPVC. Obscure glazing where indicated to sensitive windows.

RAINWATER GOODS: gutters, downpipes, and fixings to be uPVC or aluminium powder coated to selected colour to match roof slates



BUILDING SECTION - B2
1:200

PROPOSED PART 5 UNIT
House Type B2 - 2 Storey
3 Bedroom Mid-Terrace
114.85sq.m / 1,235.8sq.ft

Issue Description	Issue	MD	15/02/2019	X	
Issue Description	Issue	dm	ckd	date	rev.
Issued for Planning					
Client:	CAIRN HOMES PROPERTIES LTD.				
Project:	RESIDENTIAL DEVELOPMENT				
Site:	CASTLETREASURE, DOUGLAS, CO. CORK				
Title:	House Type B2 Terraced - 3 Bed				
Project Architect:	PATRICK O TOOLE				
A3 Sheet Scale:	1:200, 1:100				
Project No:	18205-PT5-501				
Issue:	X				

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NOTE: PLEASE REFER TO THE SITE LAYOUT DRAWING FOR ALL FFLS AND THE NORTH POINT ORIENTATION

NOTES ON FINISHES:

ROOF: to be finished in slate or concrete roof tiles in selected colour or similar approved.

WALLS: selected clay brickwork, where indicated, otherwise painted sand / cement render or self-coloured render. Expressed bands around external opes/ expressed lintels over external opes, where indicated, to be reconstituted stone (light cream limestone or granite effect) or render

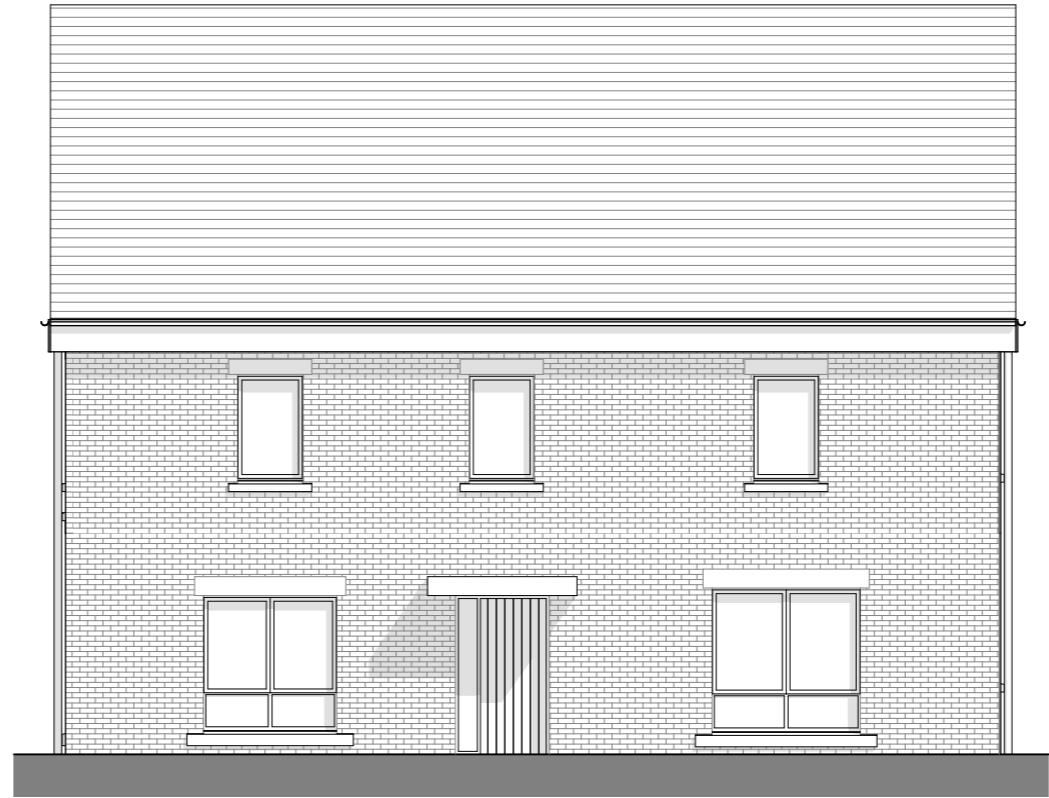
JOINERY: all windows and doors, frames and leaves, to be aluminium powder-coated to approved colour or uPVC. Obscure glazing where indicated to sensitive windows.

RAINWATER GOODS: gutters, downpipes, and fixings to be uPVC or aluminium powder coated to selected colour to match roof slates



FRONT ELEVATION - B1/B3

1:100



SIDE ENTRANCE ELEVATION B3

1:100

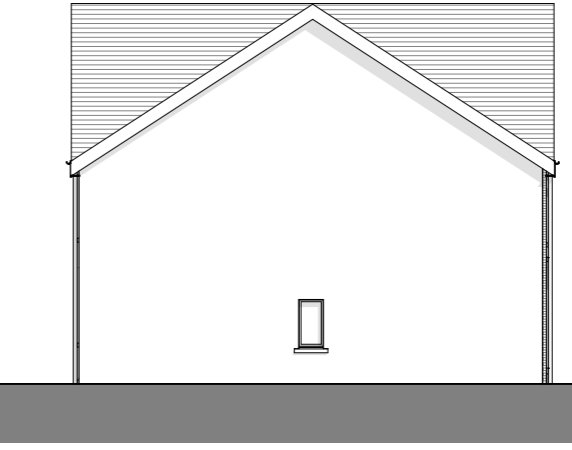


REAR ELEVATION - B3/B1

1:200

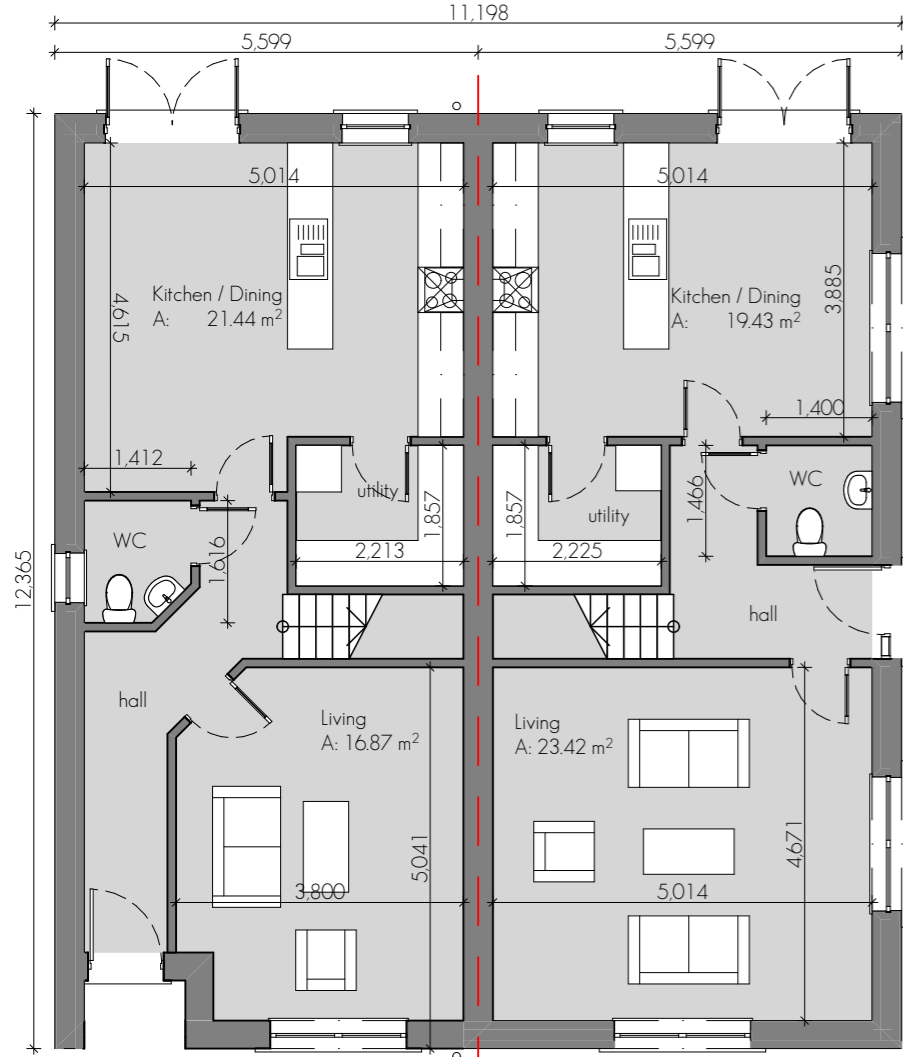
PROPOSED PART 5 B3 UNIT

House Type B1 - 2 Storey
3 Bedroom Semi Detached
114.85sq.m / 1,235.8sq.ft
House Type B3 - 2 Storey
3 Bedroom Semi Detached/
End of Terrace
116sq.m / 1,248sq.ft



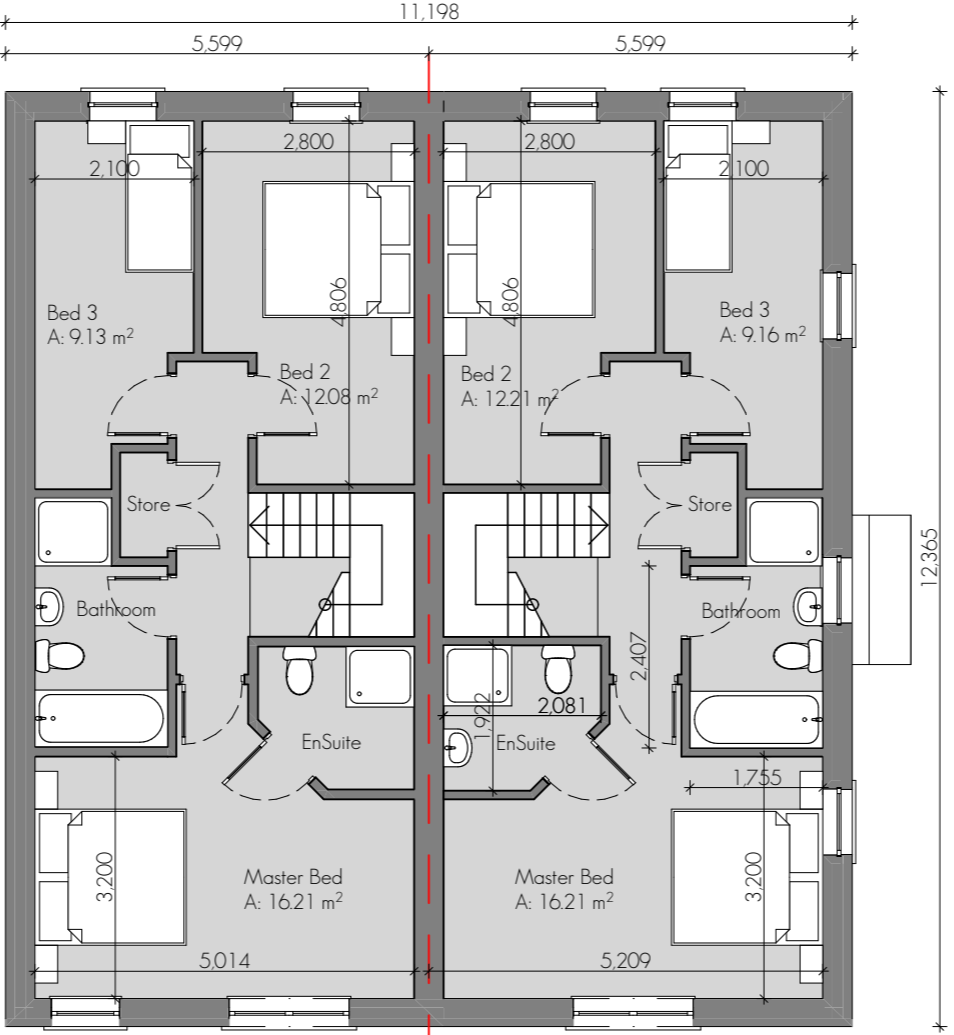
SIDE ELEVATION - B1

1:200



GROUND FLOOR - B1/B3

1:100



FIRST FLOOR - B1/B3

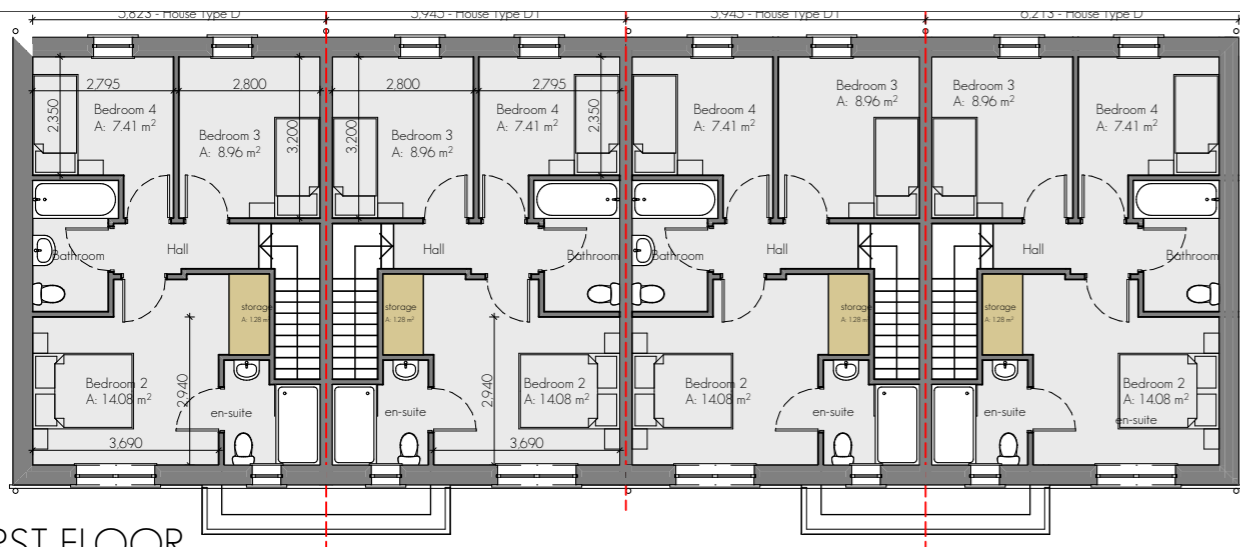
1:100

Issue Description	dm	ckd	date	rev
Issued for Planning			GOS MD 15/02/2019	X
Client	CAIRN HOMES PROPERTIES LTD.			
Project	RESIDENTIAL DEVELOPMENT			
Site	CASTLETREASURE, DOUGLAS, CO. CORK			
Title	House Type B1/B3 - Semi Detached - 3 Bed			

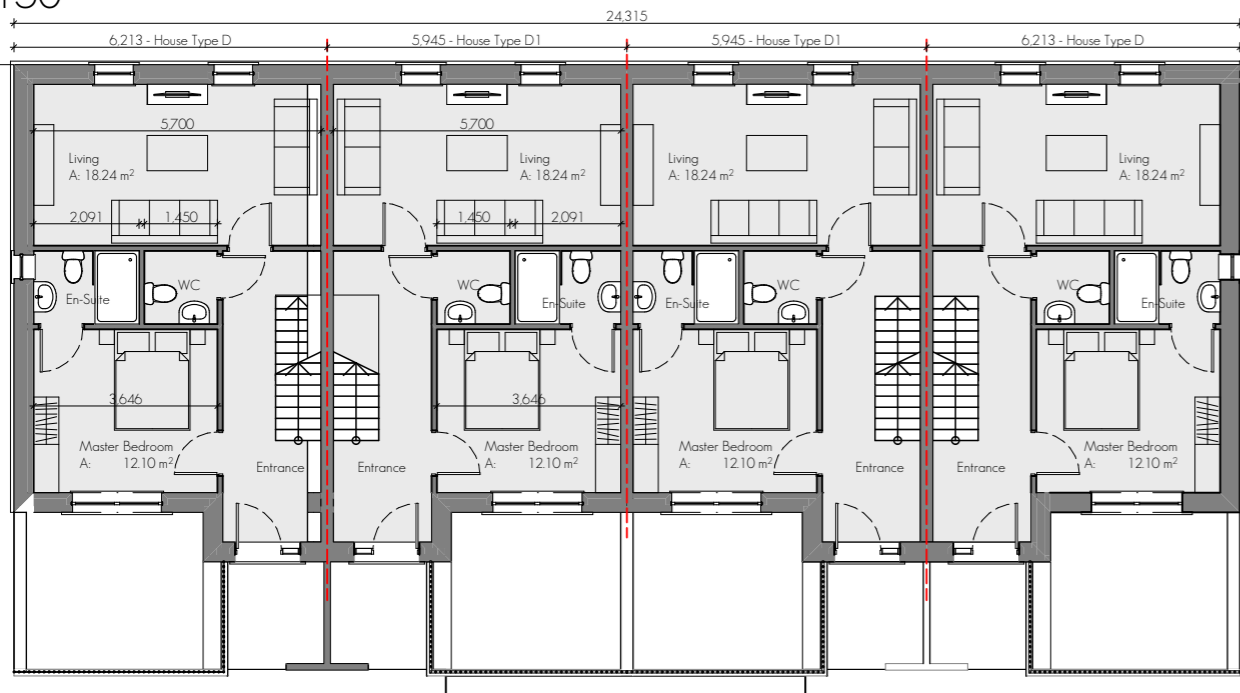
Project Architect: PATRICK O TOOLE
A3 Sheet Scale: 1:200, 1:100
Project No: 18205-PT5-502
Issue: X

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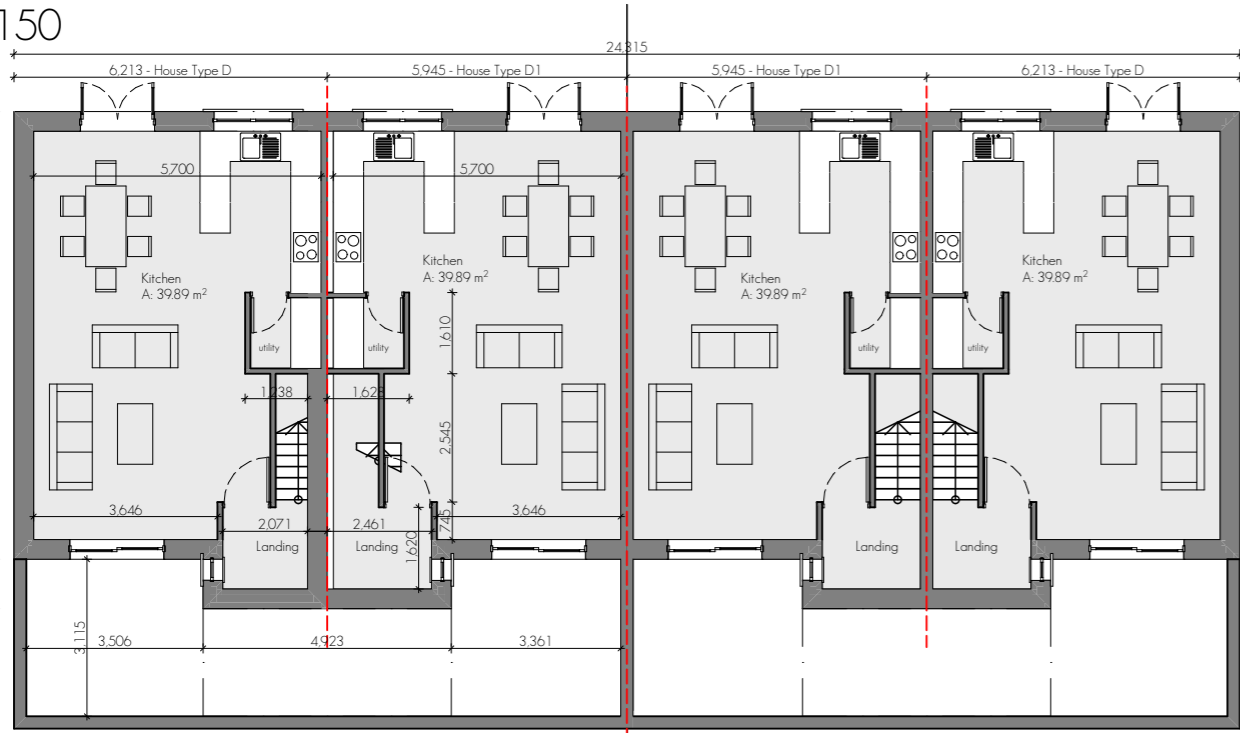
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FIRST FLOOR
1:150



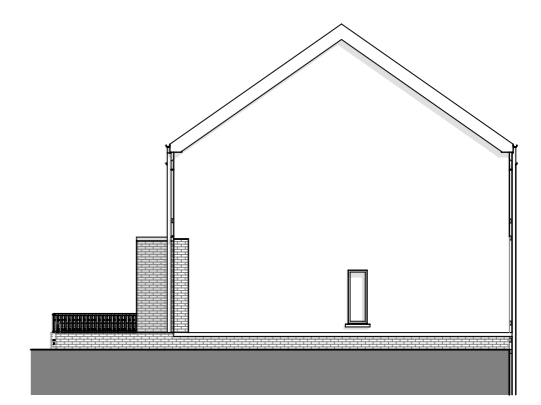
GROUND FLOOR
1:150



LOWER GROUND FLOOR
1:150



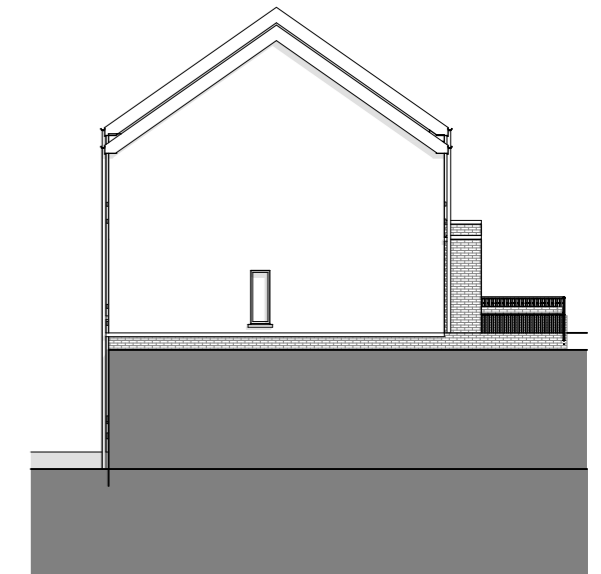
FRONT ELEVATION - D1/D2/D2/D1
1:200



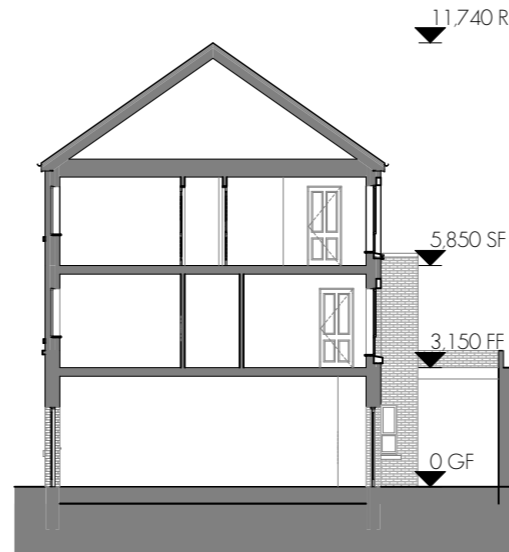
SIDE ELEVATION - D
1:200



REAR ELEVATION - D1/D2/D2/D1
1:200



SIDE ELEVATION - D
1:200



BUILDING SECTION
1:200

NOTES ON FINISHES:

ROOF: to be finished in slate or concrete roof tiles in selected colour or similar approved.

WALLS: selected clay brickwork, where indicated, otherwise painted sand / cement render or self-coloured render. Exposed bands around external opes/ expressed lintels over external opes, where indicated, to be reconstituted stone (light cream limestone or granite effect) or render

JOINERY: all windows and doors, frames and leaves, to be aluminium powder-coated to approved colour or uPVC. Obscure glazing where indicated to sensitive windows.

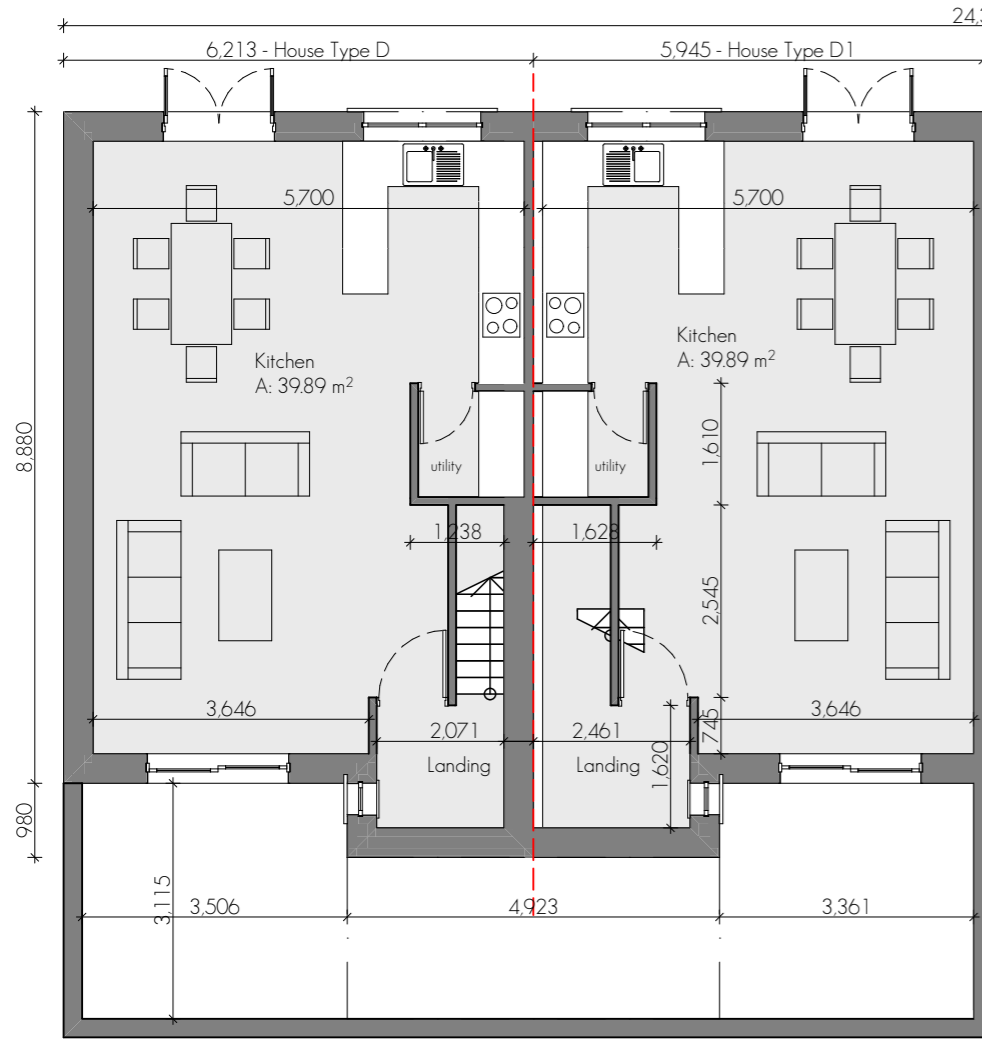
RAINWATER GOODS: gutters, downpipes, and fixings to be uPVC or aluminium powder coated to selected colour to match roof slates

PROPOSED PART 5 UNIT
House Type D1 -
3 Storey - 4 Bedroom
End of Terrace
142.3sqm / 1531sqft
House Type D2 -
3 Storey - 4 Bedroom
Mid Terrace
142.3sqm / 1531sqft

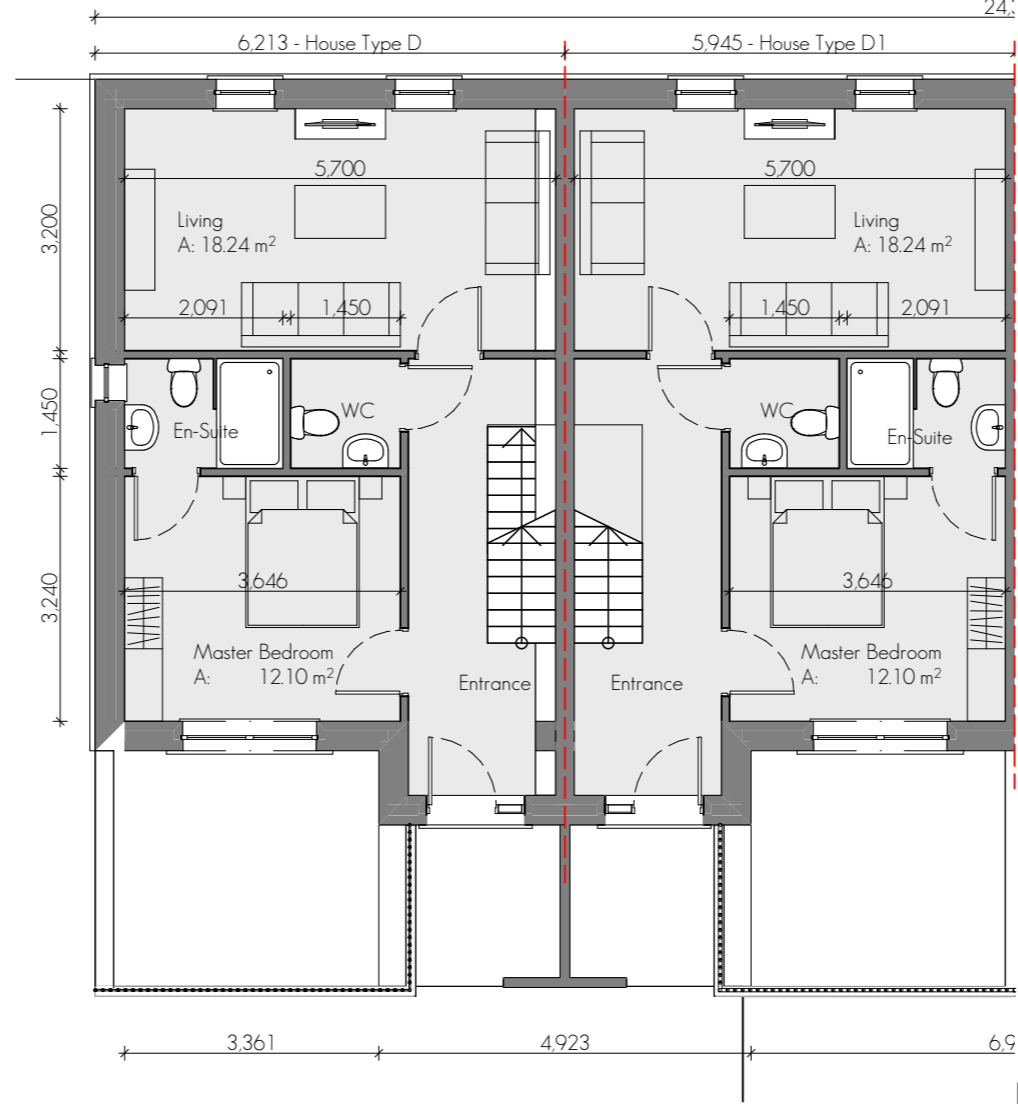
Issue Description	dn	cd	date	rev.
Issued for Planning			15/02/2019	X
Client	CAIRN HOMES PROPERTIES LTD.			
Project	RESIDENTIAL DEVELOPMENT			
Site	CASTLETREASURE, DOUGLAS, CO.CORK			
Title	HOUSE TYPE D1/D2 - SEMI-D/TERRACE			
Project Architect	PATRICK O TOOLE			
A3 Sheet Scale	1:150, 1:200			
Project No.	18205-PT5-503			
Issue	X			

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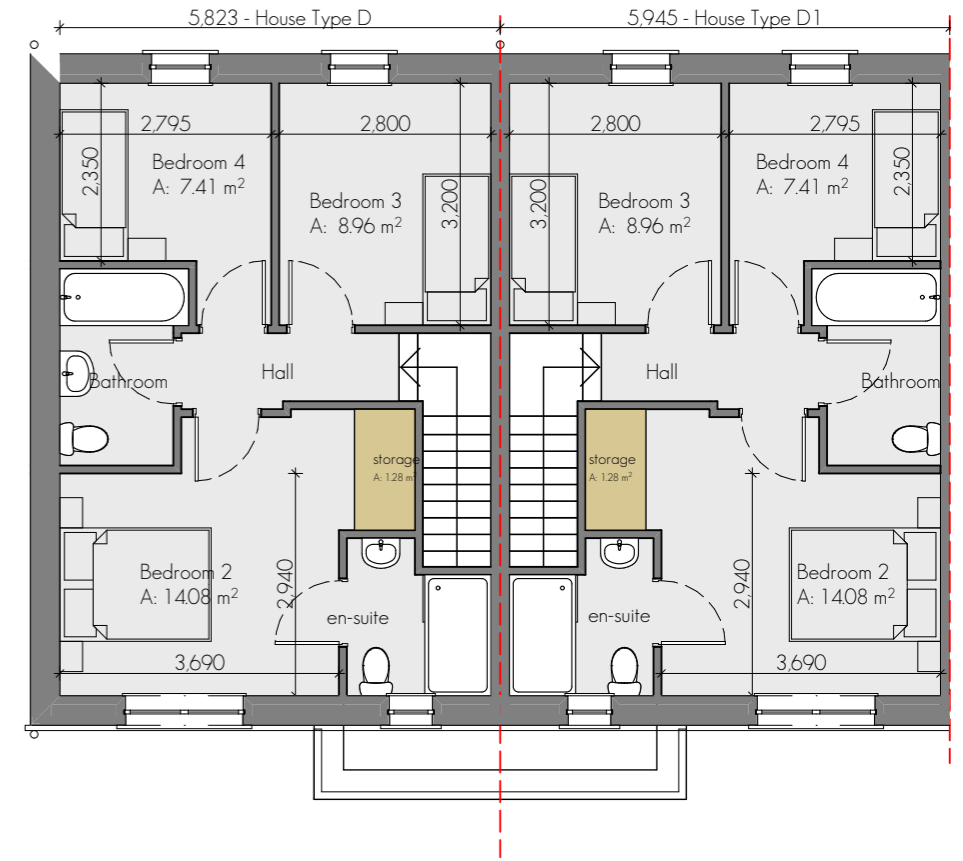
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NOTE: PLEASE REFER TO THE SITE LAYOUT DRAWING FOR ALL FFLS AND THE NORTH POINT ORIENTATION



LOWER GROUND FLOOR
1:100



GROUND FLOOR
1:100



FIRST FLOOR
1:100



FRONT ELEVATION - D1/D2/D2/D1
1:100

NOTES ON FINISHES:

ROOF: to be finished in slate or concrete roof tiles in selected colour or similar approved.

WALLS: selected clay brickwork, where indicated, otherwise painted sand / cement render or self-coloured render. Expressed bands around external opes/ expressed lintels over external opes, where indicated, to be reconstituted stone (light cream limestone or granite effect) or render

JOINERY: all windows and doors, frames and leaves, to be aluminium powder-coated to approved colour or uPVC. Obscure glazing where indicated to sensitive windows.

RAINWATER GOODS: gutters, downpipes, and fixings to be uPVC or aluminium powder coated to selected colour to match roof slates

PROPOSED PART 5 UNIT

House Type D1 -
3 Storey - 4 Bedroom
End of Terrace
142.3sqm / 1531sqft
House Type D2 -
3 Storey - 4 Bedroom
Mid Terrace
142.3sqm / 1531sqft

Issue Description	dm	ckd	date	rev.
Issued for Planning			GOS MD 15/02/2019	X
Client	CAIRN HOMES PROPERTIES LTD.			
Project	RESIDENTIAL DEVELOPMENT			
Site	CASTLETREASURE, DOUGLAS, CO.CORK			
Title	HOUSE TYPE D1/D2 - SEMI-D/TERRACE			

Project Architect: PATRICK O TOOLE
A3 Sheet Scale: 1:100
Project No: 18205-PT5-504
Issue: X

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Castletreasure, Douglas
472 Units
19.03.2019

Apartments	Part V Units													
	Unit Allocation													
	Number of units	Beds	Area m2	Area ft2	Build Cost	Site Works	Abnormals	Indirect Costs	Professional Fees	Finance Costs	Margin	EUV	Vat	Total
Houses														
B2	1	3	115	1,236	143,711	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,824	386,069
B2	1	3	115	1,236	143,711	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,824	386,069
B3	1	3	116	1,249	145,149	23,068	24,807	51,567	22,752	44,393	25,471	2,476	48,019	387,702
B3	1	3	116	1,249	145,149	23,068	24,807	51,567	22,752	44,393	25,471	2,476	48,019	387,702
D1	1	4	142	1,532	178,058	23,068	24,807	51,567	22,752	44,393	25,471	2,476	52,461	425,053
D1	1	4	142	1,532	178,058	23,068	24,807	51,567	22,752	44,393	25,471	2,476	52,461	425,053
D2	1	4	142	1,532	178,058	23,068	24,807	51,567	22,752	44,393	25,471	2,476	52,461	425,053
D2	1	4	142	1,532	178,058	23,068	24,807	51,567	22,752	44,393	25,471	2,476	52,461	425,053
Apartments														
Apt - E1	1	2	85	917	154,905	23,068	24,807	51,567	22,752	44,393	25,471	2,476	49,336	398,775
Apt - E2	1	2	76	815	137,633	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,004	379,171
Apt - E3	1	2	85	917	154,905	23,068	24,807	51,567	22,752	44,393	25,471	2,476	49,336	398,775
Apt - E4	1	2	76	815	137,633	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,004	379,171
Apt - E5	1	2	85	917	154,905	23,068	24,807	51,567	22,752	44,393	25,471	2,476	49,336	398,775
Apt - E6	1	2	76	815	137,633	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,004	379,171
Apt - G1	1	1	59	635	107,270	23,068	24,807	51,567	22,752	44,393	25,471	2,476	42,905	344,709
Apt - G2	1	2	74	797	134,542	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,587	375,662
Apt - G3	1	1	51	547	92,361	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,892	327,787
Apt - G4	1	1	48	519	87,634	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,254	322,422
Apt - G5	1	1	48	517	87,271	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,205	322,009
Apt - G6	1	1	48	517	87,271	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,205	322,009
Apt - G7	1	1	48	518	87,452	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,230	322,216
Apt - G8	1	1	53	567	95,816	23,068	24,807	51,567	22,752	44,393	25,471	2,476	41,359	331,708
Apt - G9	1	2	75	803	135,633	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,734	376,901
Apt - G10	1	2	74	792	133,815	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,488	374,837
Apt - G11	1	2	74	797	134,542	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,587	375,662
Apt - G12	1	2	79	853	143,996	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,863	386,393
Apt - G13	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G14	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G15	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G16	1	2	75	803	135,633	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,734	376,901
Apt - G17	1	2	75	803	135,633	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,734	376,901
Apt - G18	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G19	1	2	74	792	133,815	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,488	374,837
Apt - G20	1	2	74	797	134,542	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,587	375,662
Apt - G21	1	2	79	853	143,996	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,863	386,393
Apt - G22	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G23	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G24	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G25	1	2	75	803	135,633	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,734	376,901
Apt - G26	1	2	75	802	135,451	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,709	376,694
Apt - G27	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G48	1	2	78	841	141,996	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,593	384,123
Apt - G49	1	2	75	807	136,360	23,068	24,807	51,567	22,752	44,393	25,471	2,476	46,832	377,726
Apt - G50	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G51	1	1	48	521	87,998	23,068	24,807	51,567	22,752	44,393	25,471	2,476	40,303	322,835
Apt - G52	1	2	79	847	143,087	23,068	24,807	51,567	22,752	44,393	25,471	2,476	47,740	385,361
Apt - G53	1	1	59	638	107,815	23,068	24,807	51,567	22,752	44,393	25,471	2,476	42,979	345,328
	47			38,148										17,129,079

PART V COMPENSATION COST CLAIM

DEVELOPER/CONTRACTOR:

CAIRN HOMES CONSTRUCTION LTD

 SCHEME: Castletreasure, Douglas
 472 Units

MAIN COST SUMMARY

		Total Cost €
BUILDING COSTS	Page	
Substructures Generally	2	8,874,876
Substructures - Basement Car-Parking	3	2,370,000
Superstructures	4 & 5	54,726,926
External Works	6	2,499,245
Site Development Works	7	10,173,008
Abnormal Works	8	10,940,000
Indirect Project Costs	9	22,741,082
Total:	1	112,325,137
DEVELOPMENT ON COSTS		
Professional Fees		10,033,414
Finance Costs		19,577,368
Total:	2	29,610,782
DEVELOPERS' PROFIT		
On Building Costs	10.00%	11,232,514
On Development Costs	0.00%	0
LAND COSTS		
Existing Land Use Value	4	1,092,000
SUB-TOTAL:		154,260,433
add:		
Value Added Tax @ 13.50%		19,470,648
Value Added Tax @ 23.00%		2,307,685
TOTAL COSTS:		176,038,766
No of Units	472	372,963
Nett internal floor area (Sales Area)		
SqM and SqFt	501,177	351

Note: